

MEMORANDUM

August 5, 2015

TO: Landmarks Board

FROM: Lesli Ellis, Comprehensive Planning Manager
Debra Kalish, Sr. Assistant City Attorney
James Hewat, Senior Historic Preservation Planner
Marcy Cameron, Historic Preservation Planner
Angela Smelker, Historic Preservation Intern

SUBJECT: Public hearing and consideration of an application for a Landmark Alteration Certificate to build a 451 sq. ft. detached, one-car garage with second-story studio at 820 Spruce St. in the Mapleton Hill Historic District, per section 9-11-18 of the Boulder Revised Code 1981 (HIS2015-00151).

STATISTICS:

- | | |
|--------------------------|--|
| 1. Site: | 820 Spruce Street |
| 2. Zoning: | RL-1 (Residential-Low 1) |
| 3. Lot size: | 7,062 sq. ft. |
| 4. Existing House: | 2,998 sq. ft. (including recently approved 48 sq. ft. addition). |
| 5. Proposed Garage: | 451 sq. ft. |
| 6. Applicant/Owner: | David Waugh, Judy Amabile |
| 7. Date of Construction: | c. 1890 |

STAFF RECOMMENDATION:

If the applicant complies with the conditions listed below, staff considers the proposed construction of an addition and construction of a new garage on the property will be generally consistent with the conditions specified in Section 9-11-18, Boulder Revised Code 1981 ("B.R.C. 1981"), the *General Design Guidelines*, and the *Mapleton Hill Design Guidelines*. Staff recommends that the Landmarks Board adopt the following motion:

I move that the Landmarks Board adopt the staff memorandum dated July 1, 2015, as the findings of the board, and approve a Landmark Alteration Certificate for the proposed

construction shown on plans dated 05/27/2015, finding that the proposed new construction generally meets the standards for issuance of a Landmark Alteration Certificate in Chapter 9-11-18, B.R.C. 1981, subject to the following conditions:

CONDITIONS OF APPROVAL:

1. The applicant shall be responsible for constructing the garage in compliance with the approved plans dated 05/27/2015, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit a revised design that simplifies the mass and design of the proposed garage including the roof form to ensure that it is more subordinate to and compatible with the historic house and character of the alleyscape.
3. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall provide details on the rehabilitation of the existing house.
4. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit the following, which shall be subject to the final review and approval of the Landmarks design review committee (Ldrc): window and door details, wall material details, siding material details, paint colors, roofing material details and details regarding any hardscaping on the property to ensure that the approval is consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* and the intent of this approval.

SUMMARY:

- Because the application calls for free-standing construction of more than 340 sq. ft., it requires review by the full Board in a public hearing pursuant to § 9-11-14(b), B.R.C. 1981.
- Constructed in the 1890s and within the (1865-1946) period-of-significance for the Mapleton Hill Historic District, the property retains a high degree of historic integrity and contributing to the district.
- Provided the conditions are met and the design of the building is simplified (and reviewed and approved by the Landmarks design review committee (Ldrc)), staff finds the proposed new construction will be generally consistent with the criteria for a Landmark Alteration Certificate per 9-11-18(a) & (b)(1)-

(4), B.R.C. 1981, the *General Design Guidelines* and the *Mapleton Hill Design Guidelines*.

- This recommendation is based upon the understanding that, pursuant to the conditions of approval, revision to the design will be reviewed and approved by the Ldrc prior to the issuance of a Landmark Alteration Certificate.

PROPERTY HISTORY:



Figure 1. Tax Assessor photo of 820 Spruce Street, c. 1949.

The one and one-half story house at 820 Spruce St. was constructed about 1895 and while fairly typical of a house built for middle class families in Boulder during this period, its hipped roof configuration with extending gables is relatively unusual.



Figure 2. 820 Spruce Street, 2015

Sanborn Maps indicate the house was built between 1890 and 1895 with the address first appearing in the 1896 City Directory. Deed research shows that James C. Hankins purchased the property from N.E. Nicholson in 1891. Hankins was an official with the National State Bank, serving as secretary and as Vice President of the bank for many years. He and his wife, Margaret, are listed as living at the house only from 1896-1898, after which time they are shown to have moved to 1120 Pine Street. James Hankins did not sell 820 Spruce Street, but had his daughter, Lulu (Louise), and his son-in-law, Daniel E. McAllister move into the house.



Figure 3. Lulu and Daniel E. McAllister, c. 1930.

Daniel McAllister was the president and general manager of the McAllister Lumber and Supply Company during the early 1900s and later assumed directorship of the National State Bank in 1919 where he remained until 1941. Daniel's father, Ira T. McAllister, founded the McAllister Lumber and Supply Company at 15th and Canyon Boulevard. Daniel was born in New Hampshire in 1872 and came to Boulder with his parents in the early 1870s. Lulu, his wife, was born in Iowa and moved to Gold Hill with her parents as a small child in 1879. Lulu Hankins and Daniel McAllister were married in 1897, the same year Lulu received her bachelor's degree in philosophy from the University of Colorado.

Lulu and Daniel are also associated with the property designed by Glen Huntington at 1160 Cascade Avenue where they lived from 1922 to 1941. The McAllister house at 1619 Pine Street was Individually Landmarked in 1977 for its association with the family including Daniel McAllister, his brother William, and father Ira, who lived there for many years.

820 Spruce Street was sold to Harry and Gertrude Shimpfky in 1926 who owned it until 1957. Born in Denver in 1889, Harry was employed as a Boulder mail carrier for 25 years. The next owners were Fred and Mary Jane Caby, who owned the property from 1957-1970. Fred and Mary owned a farm in Lebanon, Missouri, and newspaper articles state that the Cabys were in "Boulder intermittently" from the 1930s to the early 1960s, when Fred died.



Figure 4. View of a one-horse surrey with 820 Spruce Street in the background, c. 1884-1899.

DESCRIPTION:

The property is located on the south side of Spruce Street 8th and 9th Streets, in the Tourtellot and Squires addition to the city, which was platted in 1870. The 2,998 sq. ft. house is located on an average sized 7,062 sq. ft. Mapleton Hill neighborhood lot. The maximum floor area for the property is 3,500 sq. ft. With the new garage, a total of 3,497 is being proposed.

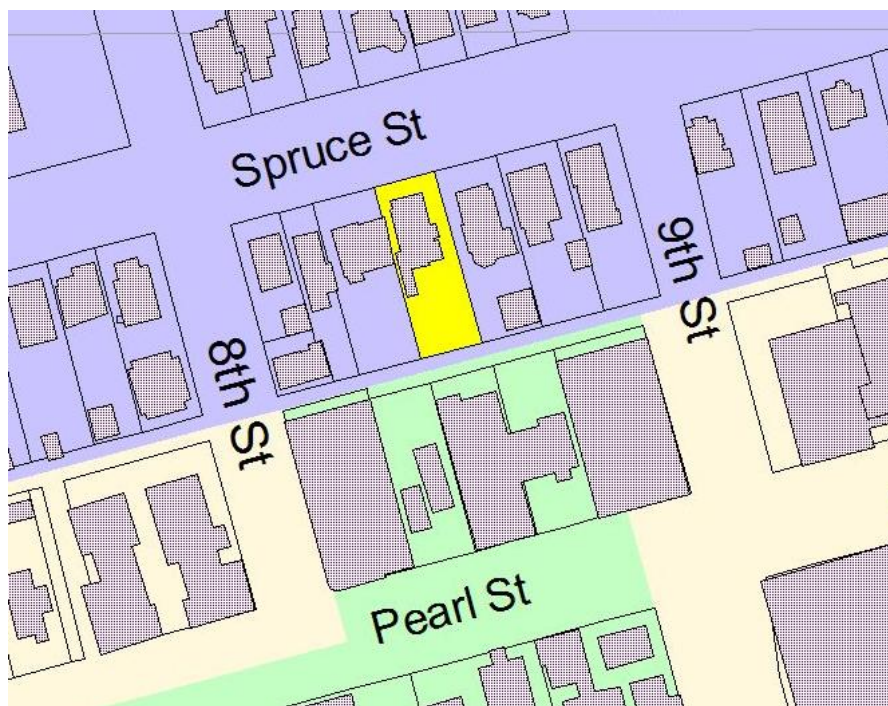


Figure 5. Location Map, 820 Spruce St.

The one and a half story hipped roof building has intersecting gables with a gable-front façade. Upper gable faces have wood shingles and overhanging eaves with return. The front gable end has a group of three double-hung windows. On the façade there is an off-center door, and a full width porch and groups of paired double hung windows surround the first story.

An attached, flat-roofed frame garage is located at the southwest corner of the house. According to the 2005 Historic Building Inventory Record, the existing garage was constructed in 1922. The garage features a curved parapet and two narrow side-hinged wood paneled doors with four-light windows that face north to Spruce Street. The south elevation of the garage also has a curved parapet and three side-hinged doors with single-pane glazing. The garage is very narrow and likely cannot accommodate a modern car. At the time of the survey, the building was in excellent condition and is considered as contributing. This garage is accessed from Spruce Street by a concrete driveway.



Figure 6. Looking into property from alley, historic garage at left center

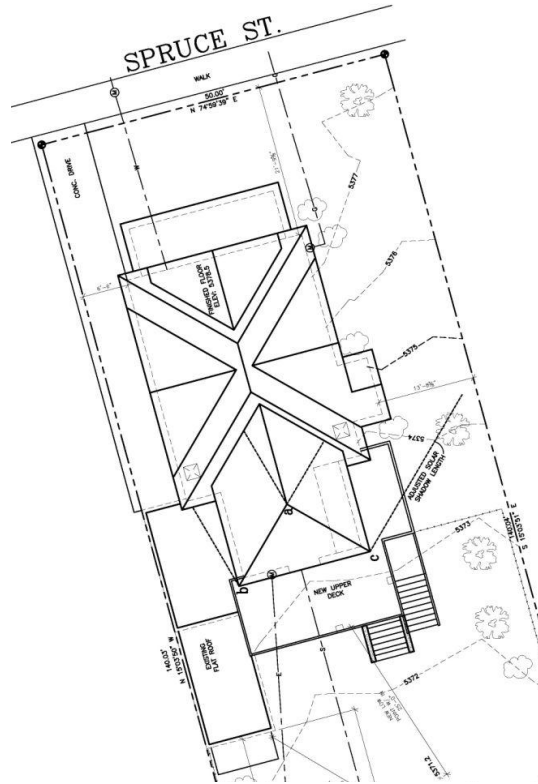


Figure 7. Existing site plan of 820 Spruce Street

PROPOSED CONSTRUCTION

The proposal calls for construction of a new two-story, one car garage with an upper level studio to be located on alley at the south side of the property. The proposed building is shown to be 451 sq. ft. A distance of approximately 40 ft. is shown between the north wall of the proposed garage and the south (rear) wall of the existing house. Plans show the upper level of the proposed garage to be accessed by and exterior stair on the west side of the new building.

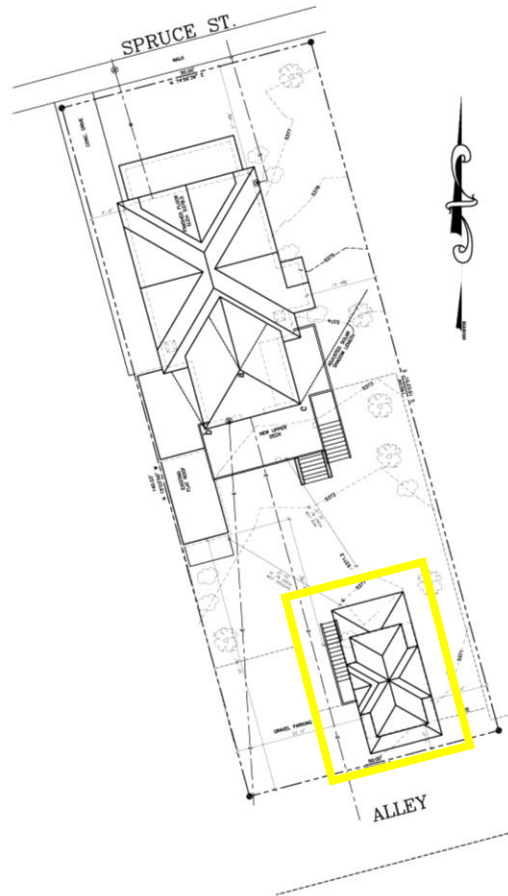


Figure 8. Proposed garage outlined in yellow.



Figure 9. Proposed West and South Elevations.

In elevation, the proposed garage is shown to feature a two-story mass with a hipped roof.

Since the proposed garage sits behind the existing house, the addition will be only slightly visible when viewed straight on from the street, but will be visible from the Pearl Street alley, which is mostly used to service all the commercial businesses on the north side of Pearl Street.

The west elevation is shown to have a door on the first level and a staircase with a small landing that leads to a door on the second story. The south elevation is shown to have an overhead garage door on the first floor and paired double-hung windows on the second story.



Figure 10. Proposed North and East Elevations.

Plans show that the north elevation will feature a centrally located door on the first floor and one double-hung window on the second story. The east elevation will be fenestrated by one pair of double-hung windows.

The proposed garage is shown to have siding similar to the existing house. Details on windows, doors, roofing and treatment of exterior materials on the existing house were not specified in the application.

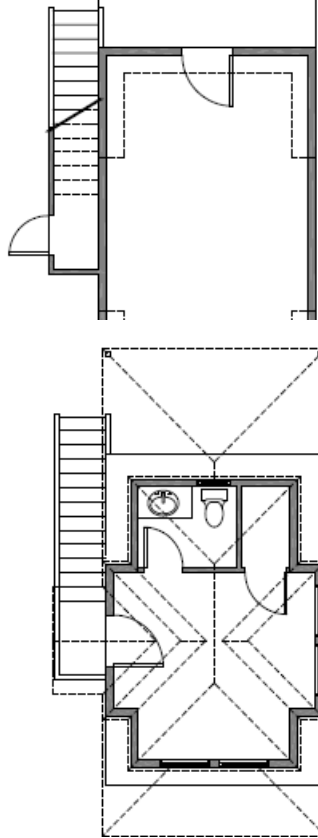


Figure 11. Floor plan of first floor (left) and second story studio (right).

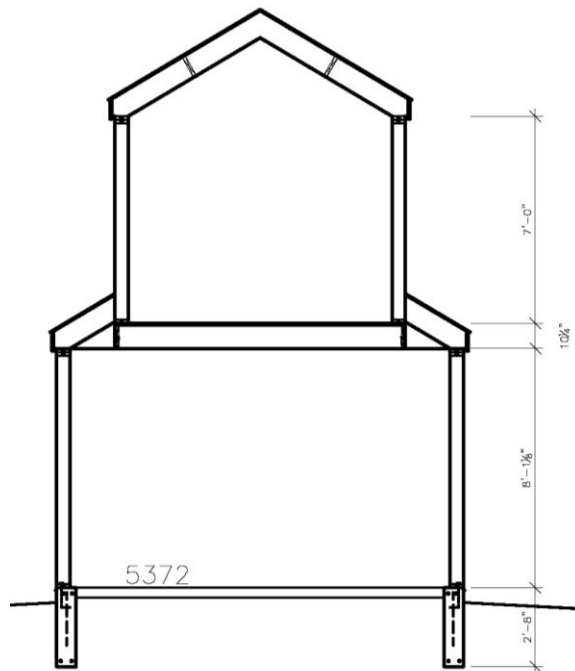


Figure 12. Drawing showing heights of proposed garage, March 10th, 2015.

CRITERIA FOR THE BOARD'S DECISION

Subsection 9-11-18(b) and (c), B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

(b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:

- (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
- (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
- (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
- (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.

(c) In determining whether to approve a Landmark Alteration Certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

ANALYSIS

1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district?

Provided the listed conditions are met and the design of the garage is simplified to be more in character with the historic house at 820 Spruce Street, the proposed new construction will not damage the historic character of the property or the district and will be consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* (see Design Guidelines Analysis section).

2. Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district?

Staff finds that, provided the listed conditions are met, the proposed application will not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark property as it will be generally compatible with the *General Design Guidelines* and the *Mapleton Hill Design Guidelines* in terms of mass, scale, height, design and color (see Design Guidelines Analysis section).

3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?

Staff finds that, provided the listed conditions are met, the proposed one-car garage will be generally compatible with the character of the historic district in terms of mass, scale, height, setback, and design (see Design Guidelines Analysis section).

4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?

Not applicable.

DESIGN GUIDELINES ANALYSIS:

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* to help interpret the historic preservation ordinance. The following is an analysis of the proposed new construction with respect to relevant guidelines. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

The following is an analysis of the proposal's compliance with the appropriate sections of the *General Design Guidelines*.

GENERAL DESIGN GUIDELINES –GARAGES & OTHER ACCESSORY STRUCTURES

2.3	Site Design: Alleys		
	<p>The alleys in historic districts were traditionally used for secondary access to the houses, for deliveries, and as storage places for horses and buggies, and later, for cars. A view of the backyards from the alleys was maintained. While today's alleys have evolved into use as pedestrian paths for jogging, bicycling and dog walking, they still contribute to the historic character of the neighborhood. They are typically minimally paved.</p> <p>Along the alleys are historic accessory buildings of various shapes and sizes including barns, chicken coops, sheds and small garages. This variety contributes to the general feeling of human scale in the alleys.</p>		
	Guidelines	Analysis	Conforms?
.1	<i>Maintain alley access for parking and retain the character of alleys as clearly secondary access to properties.</i>	Rear parking is maintained by the proposal.	Yes
.2	<i>Retain and preserve the variety and character found in the existing historic accessory buildings along the alleys.</i>	Retention of the contributing garage will maintain the variety of historic buildings on the alley of the 800 block of Spruce Street.	Yes
.3	<i>The use of historically proportioned materials for building new accessory buildings contributes to the human scale of the alleys. For example, narrower lap siding and smaller brick are appropriate.</i>	New garage shown to be clad in wide board siding. Review details at the Ldrc.	Maybe
.5	<i>Maintain adequate spacing between accessory building so that the view of the main house is not obscured, and the alley does not evolve into a tunnel-like passage.</i>	The location of the proposed garage will allow for views into the property and will not result in a tunnel-like effect on the alley.	Yes

7.2	New Accessory Buildings		
	<p><i>New accessory buildings should follow the character and pattern of historic accessory structures. While they should take design cues from the primary structure, they must be subordinate to the primary structure in size, massing, and detailing. Alley buildings should maintain a scale that is pleasant to walk along and comfortable for pedestrians.</i></p>		
	Guideline	Analysis	Meets Guideline?
Location and Orientation			

.1	<i>It is inappropriate to introduce a new garage or accessory building if doing so will detract from the overall historic character of the principal building and the site, or if it will require removal of a significant historic building element or site feature, such as a mature tree.</i>	Garage is proposed to be located at the rear of the lot and does not require removal of a significant historic building elements.	Yes
.2	<i>New garages and accessory buildings should generally be located at the rear of the lot, respecting the traditional relationship of such buildings to the primary structure and the site.</i>	Proposed garage will be located at the rear of the lot.	Yes
.3	<i>Maintain adequate spacing between accessory buildings so alleys do not evolve into tunnel-like passageways.</i>	The location of the proposed garage will allow for views into the property and will not result in a tunnel-like effect on the alley.	Yes
.4	<i>Preserve a backyard area between the house and the accessory buildings, maintaining the general proportion of built mass to open space found within the area.</i>	The site plan indicates approximately 40' between the back wall of the house and garden side wall providing for adequate backyard area.	Yes
Mass and Scale			
.5	<i>New accessory structures should take design cues from the primary structure on the site, but be subordinate to it in terms of size and massing.</i>	Proposed two-story garage is complex in form and not reflective of main house. Pitch of roof is considerably lower; stepped back second story is out of character with property and district as a whole. Consider reducing addition to one and a half story with simplified single roof form reflecting pitch on main house. Revise design for review at the Ldrc.	No
.6	<i>New garages for single-family residences should generally be one story tall and shelter no more than two cars. In some cases, a two-car</i>	Proposed addition is two stories tall and will shelter one car. Reduce to one or one and a half story in height. Revise design for review at the Ldrc.	No

	<i>garage may be inappropriate.</i>	(see .5 above).	
.7	<i>Roof form and pitch should be complimentary to the primary structure.</i>	Existing house is simple in form and detailing; steps should be taken to simplify forms and reduce overall mass and scale, fenestration, and refining materiality of garage which is complex in form and detail and out of character with main house. Revise design for review at the Ldrc. (see .5 & .6 above).	No
Materials and Detailing			
.8	<i>Accessory structures should be simpler in design and detail than the primary building.</i>	Existing house is simple in form and detailing; steps should be taken to simplify forms and reduce overall mass and scale, fenestration, and refining materiality of garage which is complex in form and detail and out of character with main house. Revise design for review at the Ldrc. (see .5, .6, & .7 above).	No
.9	<i>Materials for new garages and accessory structures should be compatible with those found on the primary structure and in the district. Vinyl siding and prefabricated structures are inappropriate.</i>	Siding material details not submitted with application. Submit for review by the Ldrc.	Maybe
.10	<i>Windows, like all elements of accessory structures, should be simpler in detailing and smaller in scale than similar elements on primary structures. See Sections 3.7 and 4.5 for additional direction.</i>	Window details not submitted with application. Submit for review by the Ldrc.	Maybe
.12	<i>Garage doors should be consistent with the historic scale and materials of traditional accessory structures. Wood is the most appropriate material, and two</i>	Garage door appears out of character with those found on historic garages in the Mapleton Hill Historic District. Material and detail not submitted with application. Revise doors	Maybe

	<i>smaller doors may be more appropriate than one large door.</i>	according to guidelines and submit for Ldrc review.	
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Mapleton Hill Historic District Guidelines

B	SITE		
	<i>Traditional settlement patterns generally placed houses in the center of a site, with garages, carriage houses, etc. and parking at the rear...</i>		
	Guideline	Analysis	Conforms?
.1	<i>Accessory buildings such as sheds and garages, and driveways should be located at the rear of the lot as is traditional. Adding them between existing buildings interrupts the rhythm and spacing.</i>	Accessory building setback approximately 5 ft. from the south property line. Proposed location will not result in a tunnel-like passageway given the setback of the building from the south property line.	Yes
2.	<i>Accessory buildings should generally be small in scale and mass and simply detailed. They are clearly secondary in importance to the primary house.</i>	Proposed building is clearly secondary to main house, but design should be revised to simplify (see 7.2 (.5-.12) of General Design Guidelines above).	No

D	ALLEYS, EASEMENTS AND ACCESSWAYS		
	<i>Alleys are a strong visual element of the district, and have much variety of scale and detail. They play an important part in the development patterns that give the more visible areas their character. Alleys provide access to rear parking and garages. They have a varied edge quality, with building both on the property lines and set back. The size and quality of these accessory building varies considerably. Careful consideration should be given to changes in traditional use.</i>		
	Guideline	Analysis	Conforms?
1.	<i>The use of alleys to provide access to the rear of properties should be preserved</i>	Access to rear of property preserved.	Yes

2.	<i>Efforts should be made to protect the variety of shape, size, and alignment of buildings along the alleys. Alleys should maintain a human scale and be sensitive to pedestrians.</i>	Proposal will preserve variety found on immediate alleyscape.	Yes
5.	<i>Efforts should be made to maintain character of the alleys in the district</i>	Proposal will preserve variety found on immediate alleyscape.	Yes

P	GARAGES, CARPORTS AND ACCESSORY STRUCTURES		
	<i>A variety of accessory buildings has been adapted for use as garages in the Mapleton Hill Historic District. Whether carriage houses or sheds, these structures have certain similarities. They are plain and utilitarian and are located at the rear of the property on the alley. Materials and building elements are varied.</i>		
	Guideline	Analysis	Conforms?
3.	<i>If a new building is to be constructed, design ideas might be found in existing historic accessory buildings located nearby</i>	Existing house is simple in form and detailing; steps should be taken to simplify forms and reduce overall mass and scale, fenestration, and refining materiality of garage which is complex in form and detail and out of character with main house. Revise design for review at the Ldrc.	No
4.	<i>The new building should be secondary in nature to the main house and smaller in scale.</i>	Proposed building is clearly secondary to main house, but design should be revised to simplify (see 7.2 (.5-.12) of General Design Guidelines above).	No
5.	<i>Accessory buildings should be small in scale and mass, and constructed in a manner which is complimentary to the character of the house and alley. They are clearly secondary in importance to the primary structure. Typically, prefabricated sheds are discouraged.</i>	Proposed garage is complex in form and detail and out of character with main house. Revise design for review at the Ldrc.	No

Staff considers that the design of the garage should be simplified to provide for a one, or one and one-half story garage with massing and roof form complementary to the contributing house on the property. The two-story form with complex, low-pitch roof forms is inconsistent with the character of the property and the district as a whole. Staff considers that the Landmarks design review committee (Ldrc) can review and approve a design that is simplified and reduced in scale as described.

Pending redesign and review by the Landmark design review committee, staff considers the proposed construction of a new garage will be generally consistent with the Historic Preservation Ordinance (Section 9-11-18 (a) & (b)(1)-(4) B.R.C. 1981), Section 4 and 7.2 of the *General Design Guidelines*, and Sections B, D and P of the *Mapleton Hill Design Guidelines*.

FINDINGS:

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The proposed new construction will meet the standards in Section 9-11-18, B.R.C. 1981.
2. The proposed construction will not have an adverse effect on the value of the landmark property, as it will be generally compatible in terms of mass, scale, or orientation with other buildings in the district.
3. In terms of mass, scale, and orientation, the proposal will be generally consistent with Section 9-11-18(a) & (b)(1)-(4), B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.

ATTACHMENTS:

- A: Historic Building Inventory and Tax Assessors Card
- B: Photographs
- C: Applicant's Materials

Memo to the Landmarks Board
 Re: Landmark Alteration Certificate, 820 Spruce Street

Attachment A: Historic Building Inventory and Tax Assessors Card

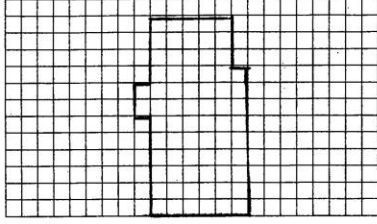
COLORADO HISTORICAL SOCIETY
 Office of Archaeology and Historic Preservation
 1300 Broadway, Denver, Colorado 80203

HISTORIC BUILDING INVENTORY RECORD

NOT FOR FIELD USE	
<input type="checkbox"/> Eligible	<input type="checkbox"/> Nominated
<input type="checkbox"/> Det. Not Eligible	<input type="checkbox"/> Certified Rehab.
Date _____	

PROJECT NAME: Boulder Survey of Historic Places, 1994		COUNTY: Boulder	CITY: Boulder	STATE ID NO.: 5BL4804
		TEMPORARY NO.: 1461-25-4-25-004		
CURRENT BUILDING NAME:		OWNER: SMITH SYBIL GILLET		
ADDRESS: 820 SPRUCE ST BOULDER, CO 80302		820 SPRUCE ST BOULDER CO 80302		
		TOWNSHIP 1N RANGE 71W SECTION 25 SE 1/4 SE 1/4		
HISTORIC NAME: McAllister Residence		U.S.G.S. QUAD NAME: Boulder, Colo. YEAR: 1966 (PR1979) X 7.5' 15'		
DISTRICT NAME: Mapleton Hill		BLOCK: N/A LOT(S): 13 ADDITION: Tourtellot & Squires YR. OF ADDITION: 1870		
FILM ROLL NO.: 94- 9 BY: R. Whitacre	NEGATIVE NO.: 28A	LOCATION OF NEGATIVES: Boulder City Plng.	DATE OF CONSTRUCTION: ESTIMATE: 1890s ACTUAL: SOURCE: Sanborn Map, 1900	
ATTACH PHOTOGRAPH HERE			USE: PRESENT: Residential HISTORIC: Residential	
			CONDITION: EXCELLENT X GOOD FAIR DETERIORATING	
			EXTENT OF ALTERATIONS: X MINOR MODERATE MAJOR DESCRIBE:	
			CONTINUED YES X NO	
STYLE: Vernacular Wood Frame		STORIES: 1 1/2	ORIGINAL SITE X MOVED DATE(S) OF MOVE:	
MATERIALS: Wood, Stone		SQ. FOOTAGE: 2048	NATIONAL REGISTER ELIGIBILITY	
ARCHITECTURAL DESCRIPTION: One-and-a-half-story hipped roof dwelling with intersecting gables. Walls clad with clapboard; corner boards; stone foundation. Upper gable faces have wood shingles. Overhanging eaves with return. Front gable end has group of three, double-hung windows. Two-story gabled bay on east. Off-center, paneled and glazed door. Double-hung windows with architrave surrounds on first story. Full-width, shed-roofed porch with classical column supports atop low walls sided with clapboard. Brick chimney.		INDIVIDUAL: YES X NO		
		CONTRIBUTING TO DISTRICT: X YES NO		
		LOCAL LANDMARK DESIGNATION: No		
		NAME: DATE:		
		ASSOCIATED BUILDINGS? YES X NO TYPE:		
		IF INVENTORIED, LIST ID NOS.:		
ADDITIONAL PAGES: YES X NO		CONTINUED? YES X NO		

Memo to the Landmarks Board
Re: Landmark Alteration Certificate, 820 Spruce Street

PLAN SHAPE: 	ARCHITECT: Unknown SOURCE: BUILDER/CONTRACTOR: Unknown SOURCE:	STATE ID NO.: 5BL4804 ORIGINAL OWNER: Unknown SOURCE: THEME(S): Urban Residential Neighborhoods, 1858-present		
CONSTRUCTION HISTORY (DESCRIPTION, NAMES, DATES, ETC., RELATING TO MAJOR ALTERATIONS TO ORIGINAL STRUCTURE): <div style="text-align: right;">CONTINUED YES X NO</div>				
HISTORICAL BACKGROUND (DISCUSS IMPORTANT PERSONS AND EVENTS ASSOCIATED WITH THIS STRUCTURE): In 1898, this was the home of Daniel E. and Lulu Hankins McAllister. Daniel Eldridge McAllister was president and general manager of the McAllister Lumber and Supply Company and a director of the National State Bank for 22 years. McAllister was born in New Hampshire in 1872 and came to Boulder with his parents in the early 1870s. His father, Ira T. McAllister, founded the McAllister Lumber and Supply Company. Daniel McAllister attended Boulder schools and graduated from the International Business College at Manchester, N.H. McAllister grew up in the lumber business and upon his father's death was elected president and manager, a capacity in which he served until the company was sold to Boise-Payette in 1927. From 1928 to 1939, McAllister was associated with the Lashley Persons Investment Company, serving as its president for several years. He also served as a director of the National State Bank from 1919 until his death in 1941. McAllister married Lulu Hankins, who was born in Iowa. She was the daughter of James and Margaret Hankins and came to Boulder with her family as a child. Her father was an official of the National State Bank. Lulu McAllister received a degree from the University of Colorado in 1897 and was married to Mr. McAllister in the same year. <div style="text-align: right;">CONTINUED YES X NO</div>				
SIGNIFICANCE (CHECK APPROPRIATE CATEGORIES AND BRIEFLY JUSTIFY BELOW): <table border="0" style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> ARCHITECTURAL SIGNIFICANCE: <input type="checkbox"/> REPRESENTS THE WORK OF A MASTER <input type="checkbox"/> POSSESSES HIGH ARTISTIC VALUES <input checked="" type="checkbox"/> REPRESENTS A TYPE, PERIOD, OR METHOD OF CONSTRUCTION </td> <td style="width: 50%; vertical-align: top;"> HISTORICAL SIGNIFICANCE: <input checked="" type="checkbox"/> ASSOCIATED WITH SIGNIFICANT PERSONS <input type="checkbox"/> ASSOCIATED WITH SIGNIFICANT EVENTS OR PATTERNS <input checked="" type="checkbox"/> CONTRIBUTES TO AN HISTORIC DISTRICT </td> </tr> </table> TIER EVALUATION: Contributing Building.			ARCHITECTURAL SIGNIFICANCE: <input type="checkbox"/> REPRESENTS THE WORK OF A MASTER <input type="checkbox"/> POSSESSES HIGH ARTISTIC VALUES <input checked="" type="checkbox"/> REPRESENTS A TYPE, PERIOD, OR METHOD OF CONSTRUCTION	HISTORICAL SIGNIFICANCE: <input checked="" type="checkbox"/> ASSOCIATED WITH SIGNIFICANT PERSONS <input type="checkbox"/> ASSOCIATED WITH SIGNIFICANT EVENTS OR PATTERNS <input checked="" type="checkbox"/> CONTRIBUTES TO AN HISTORIC DISTRICT
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STATEMENT OF SIGNIFICANCE: This house is significant for its association with Daniel E. McAllister, who was president and general manager of the McAllister Lumber and Supply Company, a director of the National State Bank, and president of the Lashley Persons Investment Company. The house is representative of the vernacular frame homes built during the nineteenth century in Boulder, as evidenced in the lack of architectural details which would indicate a particular style. Notable features include the clapboard and shingles, porch with classical columns, and the double-hung windows. <div style="text-align: right;">CONTINUED YES X NO</div>				
REFERENCES (BE SPECIFIC): Boulder County Assessor, real estate information; Boulder Daily Camera biographical files; Boulder Carnegie Library, Boulder County Assessor collection; Boulder City Directories; Boulder Genealogical Society, Census Indexes, 1900 and 1910 <div style="text-align: right;">CONTINUED YES X NO</div>				
SURVEYED BY: R.L. Simmons/T.H. Simmons	AFFILIATION: Front Range Research Associates, Inc.	DATE: August 1994		



Address: **820 SPRUCE ST**
Boulder, Colorado

COLORADO CULTURAL RESOURCE SURVEY

Cultural Resource Re-evaluation Form: Accessory Building Survey

1. Resource Number: **5BL4804**

2. Temp. Resource Number:

3. Attachments:

(Check as many as apply)

- ☒ Photographs
- ☒ Site sketch map
- ☐ U.S.G.S. map photocopy
- ☐ Other
- ☐ Other

4. Official determination:

OAHP USE ONLY

- ☐ Determined Eligible
- ☐ Determined Not Eligible
- ☐ Need Data
- ☐ Nominated
- ☐ Listed
- ☐ Contributing to N.R. District
- ☐ Not Contributing to N.R. District

5. Resource Name of Primary Building

6. Purpose of this current site visit: **Resurvey**

7. Previous Recordings: **Front Range Research Assoc. Aug. 1994**

8a. Description of Accessory Building:

Flat-roofed frame garage with asphalt roofing, wood siding, cornerboards and door trim. Curved parapet and two narrow side-hinged wood paneled doors with four-light windows face north to Spruce Street. South side of garage is wider, features a curved parapet, and three side-hinged doors with single-pane glazing. A tall fence obscures the south side of the garage.

Outbuilding Type:

Garage

Outbuilding Material:

Wood Frame

Outbuilding Covering

Wood Siding

Outbuilding Roof Material

Asphalt

8b. Date of Construction: **1922**

8c. Date of Construction Source:

**Building Permit Ledger, Carnegie Library: Mar.22, 1922, permit for a frame garage.
Historic Assessor's Card, Carnegie Library: 1929 note, 10x22 frame garage exists.
1931 Sanborn Map: building appears on map.**

9. Condition: **Excellent**

10a. Changes to Location or Size Information:

10b. UTM Coordinates:

**Cultural Resource Re-evaluation Form:
Accessory Building Survey**

page 2 of 2

Address: **820 SPRUCE ST
Boulder, Colorado**

Temp. Resource Number

11. Current Ownership SMITH SYBIL GILLETT
 820 SPRUCE ST
 BOULDER
 CO
 80302

12. Other Changes, Additions or Observations:

13. Eligibility Assessment:

Individual

District

National Register: **N/A**

National Register: **Contributing**

Local Landmark: **N/A**

Local: **Contributing**

Locally Designated Property: **NO**

14. Management Recommendations: **N/A**

15. Photograph Types and Numbers:

Type: **B&W**

Roll No: **19: 21**

Frame No: **21,24: 4**

16. Artifact and Field Documentation Storage Location **N/A**

17. Report Title: **Accessory Building Survey**

18. Recorder(s): **Kathryn Howes Barth, AIA; Lara Ramsey**

19. Date(s): **Apr. 2005**

20. Recorder Affiliation: **Kathryn Howes Barth, AIA; Ramsey Planning and Preservation**

Memo to the Landmarks Board
Re: Landmark Alteration Certificate, 820 Spruce Street



[illegible]

Memo to the Landmarks Board
Re: Landmark Alteration Certificate, 820 Spruce Street

CLASS OF BUILDING		HEIGHT		ROOF		LIGHT		DESCRIPTION	
Check	No. of Stories	Check	CONSTRUCTION	Check	Electricity	Check	ROOMS	STORIES	Give Numbers
1--Single Residence	✓	1/2	Wood Shingle	✓	Gas	✓	Living Room	1	1
2--Duplex			Composition Shingle		Oil		Dining Room	2	2
3--Bungalow, Apt., Crt.			Tar and Gravel				Dinette	3	3
4--Flat or Terrace			Prepared Paper				Kitchen	4	4
5--Apartment House			Sheet Iron				Breakfast Nook	5	5
6--Hotel			Copper				Bed Room	6	6
7--Store Building			Concrete Tile				Bath Room	7	7
8--			Clay Tile				Toilet Room	8	8
9--Office Building			Slate				Shower Room	9	9
10--Hospital or Sanitarium			Asbestos Shingle				Sleeping Porch	10	10
11--Bank Building			Tin				Sun Room	11	11
12--Theatre							Den	12	12
13--Warehouse							Storage Room	13	13
14--Factory							Office	14	14
15--Public Garage							Halls	15	15
16--Private Garage								16	16
17--Service Station								17	17
18--Hot House or Gr. House								18	18
19--Poultry House								19	19
20--Barns or Sheds								20	20
CONSTRUCTION		EXTERIOR		PLUMBING		FINISH		Give Numbers	
Frame	✓	Common Brick	Old Style	✓	Curbing	✓	Unfinished	✓	1
Brick		Pressed Brick	Modern	✓	Water	✓	Plastered, Plain	✓	2
Tile		Wire Cut Brick	No. Bath Tubs	✓	Storm Sewer	✓	Plastered, Ornam	✓	3
Stone		Glazed Brick	No. Shower Baths	✓	Sanitary Sewer	✓	Papered	✓	4
Concrete, Plain or Block		Wood Siding	No. Toilets	✓	Electricity	✓	Painted or Tinted	✓	5
Concrete, Reinforced		Wood Shingles	No. Lavatories	✓	Gas	✓	Softwood Floor	✓	6
Steel Frame		Cement Stucco	No. Urinals	✓	Telephone	✓	Hardwood Floor	✓	7
		Kellastone	No. Laundry Tubs	✓		✓	Softwood Finish	✓	8
		Stone	No. Sinks	✓		✓	Hardwood Finish	✓	9
		Corrugated Iron	Sanitary Closets	✓		✓	Tile	✓	10
		Terra Cotta	Cess Pool	✓		✓	Marble or Onyx	✓	11
		Tile		✓		✓	Wall Board	✓	12
				✓		✓	Sheetrock	✓	13
				✓		✓	Celotex	✓	14
				✓		✓	Wainscoting	✓	15
				✓		✓	Metal Ceiling	✓	16
				✓		✓		✓	17
				✓		✓		✓	18
				✓		✓		✓	19
				✓		✓		✓	20
				✓		✓		✓	21
				✓		✓		✓	22
				✓		✓		✓	23
				✓		✓		✓	24
				✓		✓		✓	25
				✓		✓		✓	26
				✓		✓		✓	27
				✓		✓		✓	28
				✓		✓		✓	29
				✓		✓		✓	30
				✓		✓		✓	31
				✓		✓		✓	32
				✓		✓		✓	33
				✓					



Attachment B: Current Photographs

Memo to the Landmarks Board
Re: Landmark Alteration Certificate, 820 Spruce Street

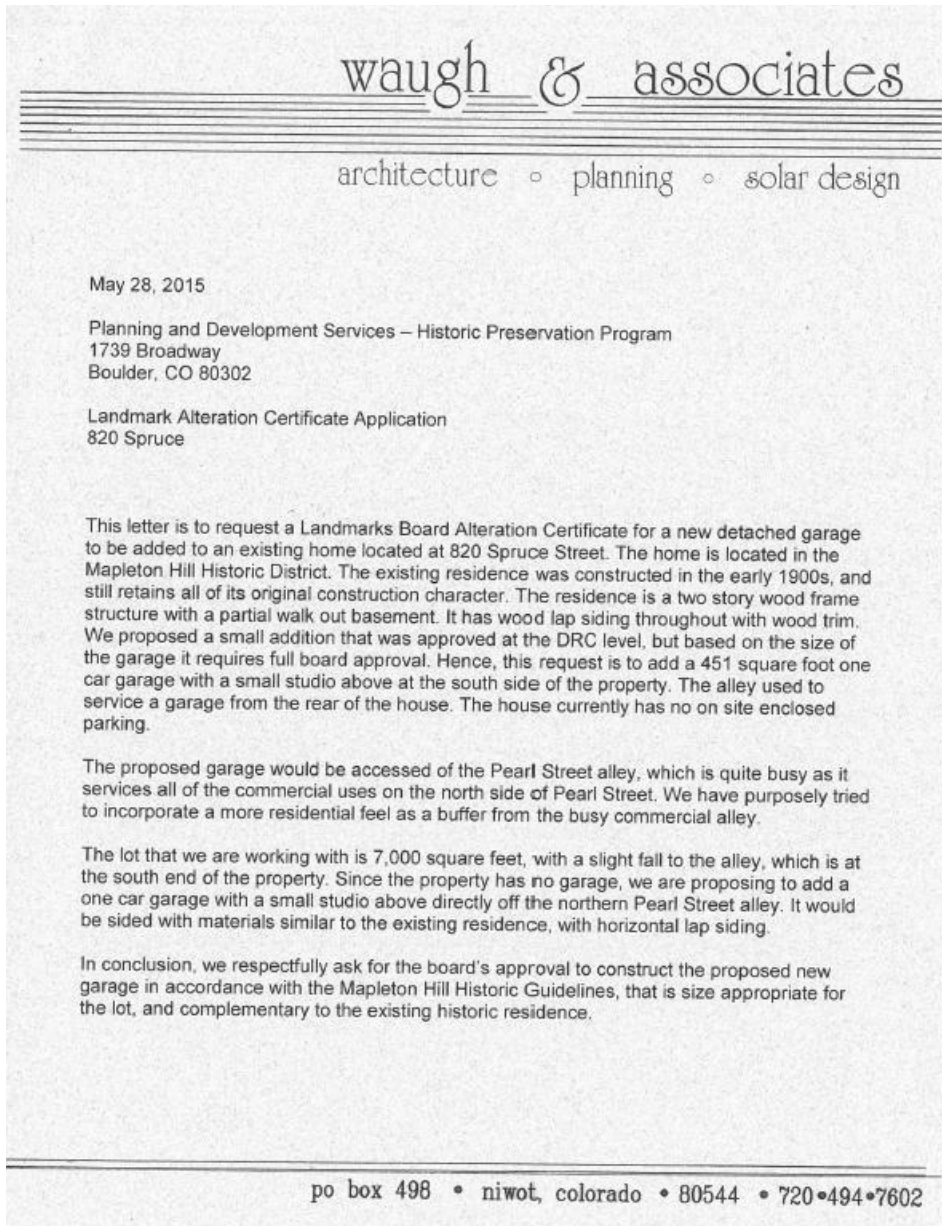


Memo to the Landmarks Board
Re: Landmark Alteration Certificate, 820 Spruce Street



Memo to the Landmarks Board
Re: Landmark Alteration Certificate, 820 Spruce Street

Attachment C: Applicant's Materials



820 SPRUCE

Maximum Floor Area Ratio (FAR) and Building Coverage Worksheet

Applicants for new residential construction and additions in the RR-1, RR-2, RE, and RL-1 zoning districts, and applicants for new residential construction and additions for single family dwellings in the RL-2 and RMX-1 zoning districts, including both principal and accessory buildings, are required to complete and submit this worksheet with your building permit application.

Calculate the Maximum Floor Area and Building Coverage for your lot:

Zoning District	Lot Area	Maximum Floor Area (sf)	Maximum Building Coverage (sf)
RL-1	7000	3500	2450

Calculate the total Floor Area for your project:

Floor Area as Defined in 9-16-1, B.R.C. 1981			Amount of Floor Area that contributes to max FAR	
	Existing (sf)	Proposed (sf)	Total (sf)	
Level 1	1592			Perimeter above 36"
Level 2	1005	48		High Volume Space (sf)
Level 3	401			High Volume Space (sf)
Level 4				High Volume Space (sf)
Accessory 1		451		
Accessory 2				
Accessory 3				
TOTAL	2998	499	3497	FAR :1

Calculate the total Building Coverage for your project:

Building Coverage as Defined in 9-16-1, B.R.C. 1981				
	Existing (sf)	Proposed (sf)	Total (sf)	
Principal	1592			Front porch total area
Accessory 1 DECK		26		Additional porch total area
Accessory 2		451		
Accessory 3				
TOTAL	1592	477	2069	


In general, projects with contributing floor area or building coverage that is greater than 80% of the allowed maximum will require detailed and dimensioned building plans showing floor area and building coverage calculations for each building on the lot, including accessory buildings, and will be required to use an Improvement Survey Plat (I.S.P.) or Land Survey Plat (L.S.P.) to determine lot area. Projects that are permitted to use an Improvement Location Certificate (I.L.C.) will be required to submit a supplemental Lot Area Declaration Form, signed by a licensed surveyor, architect, or engineer.

Building Area Declaration:

I, the undersigned, take full responsibility for the accuracy and completeness of the above information. I understand that incomplete or inaccurate information may result in significant delays in the issuance of a building permit, or the possible revocation of a building permit.

Print Name: DAVID WAUGH Signature: David Waugh
Title: (e.g. Owner, Architect, Contractor, etc.) Architect Date: 5-28-15

Memo to the Landmarks Board
Re: Landmark Alteration Certificate, 820 Spruce Street

 City of Boulder Planning and Development Services Center PMT _____
PLUMBING FIXTURE COUNT & IRRIGATION FORM

Property Address: 820 SPRUCE
Applicant: JUDY AMABILE

☒ Residential ☐ Nonresidential ☐ Mixed Use (Break out nonresidential and residential fixtures as necessary.)

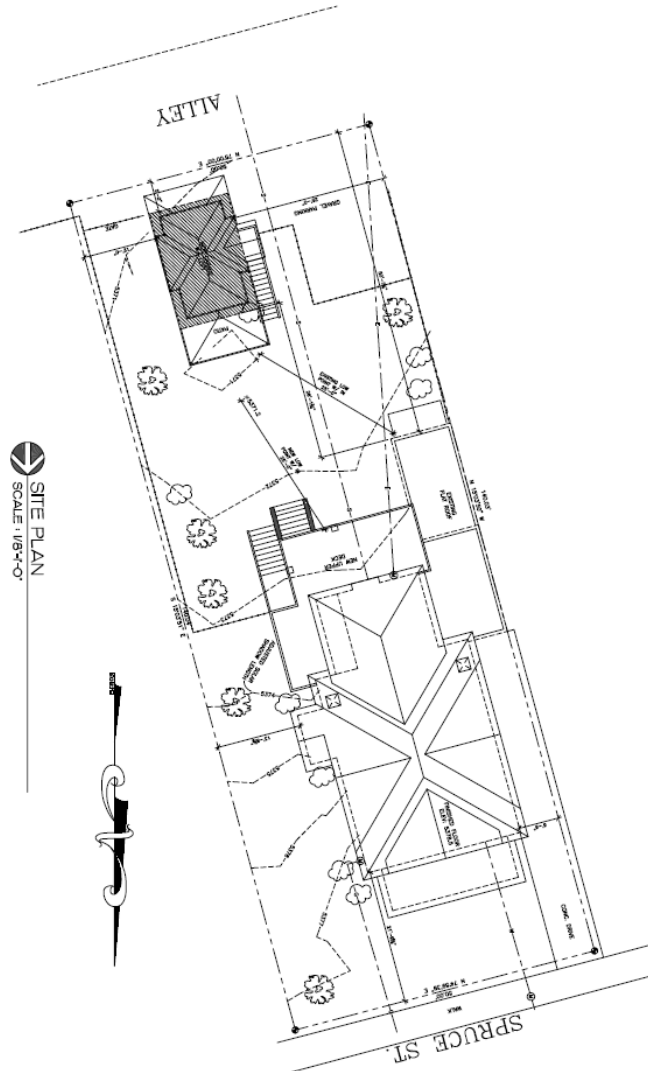
☐ 25% AWC ☐ 50% AWC ☐ 85% AWC (New nonresidential or mixed use construction select an annual water budget. Reference the Schedule of Fees or the Plant Investment Fee Worksheet for details.)

Irrigable Area _____ s.f. (Only applies for new construction or when an irrigation meter is added to an existing development. There is a 2,000 square foot minimum unless this permit is part of a block in a larger project with a separate irrigation meter. The water budget for irrigation and the plant investment fee will be based upon this number.)
Gallon Per Minute Demand of Largest Irrigated Zone _____ g.p.m. (Only applies when a separate irrigation meter is part of the building permit application.)

TYPE OF FIXTURE	EXISTING FIXTURES	FIXTURES TO BE REMOVED	NEW FIXTURES	NEW ROUGH-INS (NO FIXTURE INSTALLED)	EXISTING ROUGH-INS (NO FIXTURE INSTALLED)
RESIDENTIAL OR NON-RESIDENTIAL					
Tank Toilet	5		1		
Bathub / Bathub Shower Combo					
Shower Stall (per head)	4				
Sink (Bath, Hand, Bar, Lab)			1		
Sink (Kitchen/Compartment)	1				
Dishwasher					
Ice Machine, _____" line size					
Washer / Laundry Tub / Utility Sink	2				
Hose Bibb / Sill Cock / Outdoor Faucet	2				
Floor Drain / Floor Sink					
Sand Trap (Interceptor)					
OTHER: (Fixtures that may use city water or discharge into city sewer.)					
NON-RESIDENTIAL					
Flush Valve Toilet					
Urinal					
Industrial Dishwasher					
Beverage Hook-up					
Drinking Fountain					
Sink (Service / Mop / Janitor)					
Emergency Eye Wash					
Emergency Shower					
Dip Well					
Grease Trap (Interceptor)					
OTHER: (Fixtures that may use city water or discharge into city sewer.)					

I, the undersigned, take full responsibility for the accuracy and completeness of the above information.
Danl Waugh 5-23-15
Applicant/Contractor Date City Approval Date
316.pdf
Revised Apr. 09

Memo to the Landmarks Board
Re: Landmark Alteration Certificate, 820 Spruce Street



 SITE PLAN
SCALE: 1/8"=1'-0"

[illegible]

LEGAL

ADDRESS - 820 SPRUCE ST.
LOT 13
TOURTELLOTT & SQUIRES ADDITION
CITY OF BOULDER
COUNTY OF BOULDER
STATE OF COLORADO

GARAGE
SITE PLAN

AO

REMODEL FOR AMABILE RESIDENCE
820 SPRUCE ST. BOULDER, COLORADO

waugh & associates

architecture • planning • solar design

po box 498 • mont. colorado • 81544 • 720-484-7802

Memo to the Landmarks Board
Re: Landmark Alteration Certificate, 820 Spruce Street

